

Architect



Address

ROYAL ARCADE
BOSCOMBE

A. 04.01.24 update the boundry line

REV.	DATE	DESCRIPTION
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Project ID	286	Drawn By	WA
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Date	02.08.23	Reviewed By	AC
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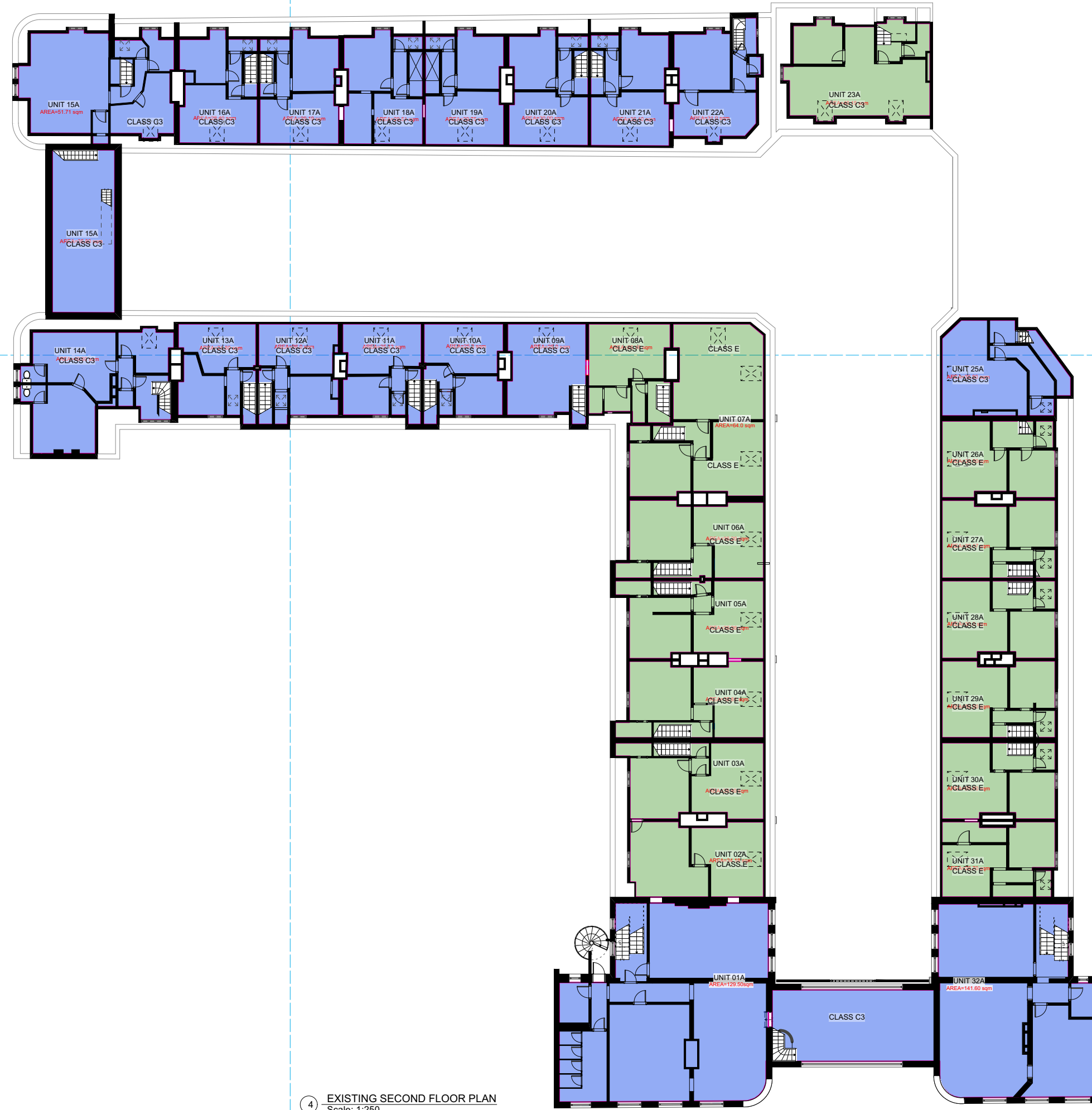
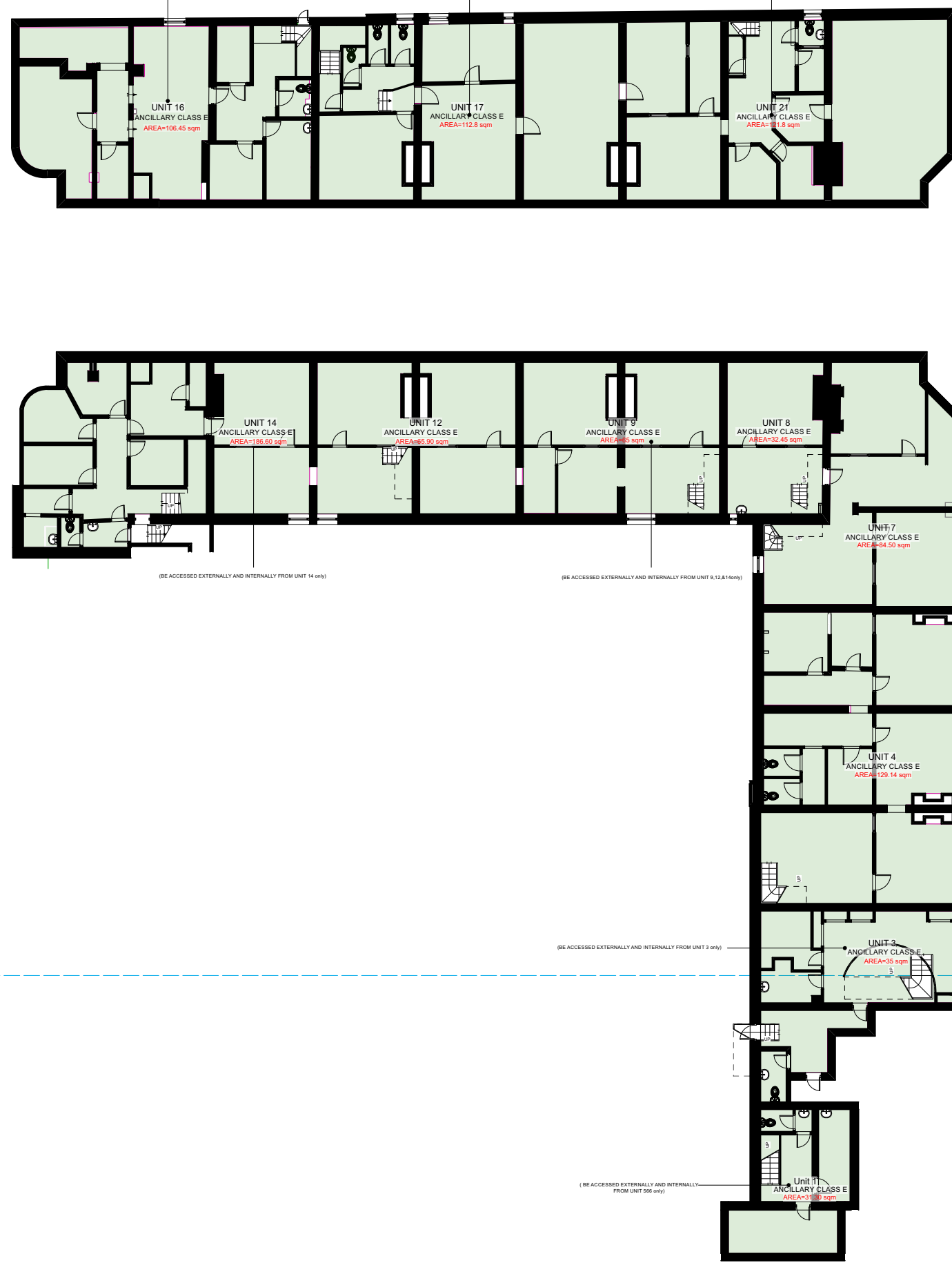
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Sheet Title

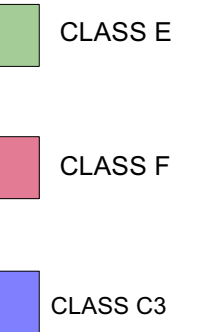
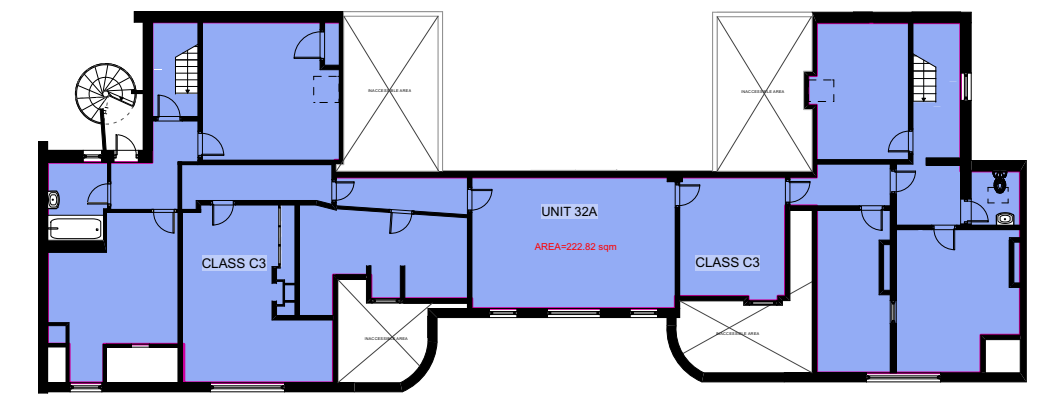
SITE LOCATION PLAN

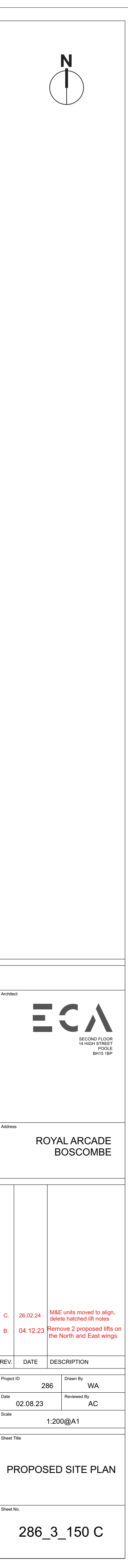
Sheet No.

286_3_001A



FUNCTION	EXISTING						PROPOSED					
	BASEMENT	GROUND FLOOR	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL	BASEMENT	GROUND FLOOR	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL
CLASS E	-	1109.6	566.97	495.63	-	2059.89	-	1282.45	1539.9	1338.25	222.0	4382.63
CLASS E (WHEELCHAIR ACCESS)	1217.88	-	-	-	-	1217.88	1217.88	-	-	-	-	1217.88
CLASS F	-	171.1	-	-	-	171.1	-	-	-	-	-	-
CLASS C3	-	-	884.27	778.19	222.80	1997.57	-	-	-	-	-	-





TECHNICAL NOTES:

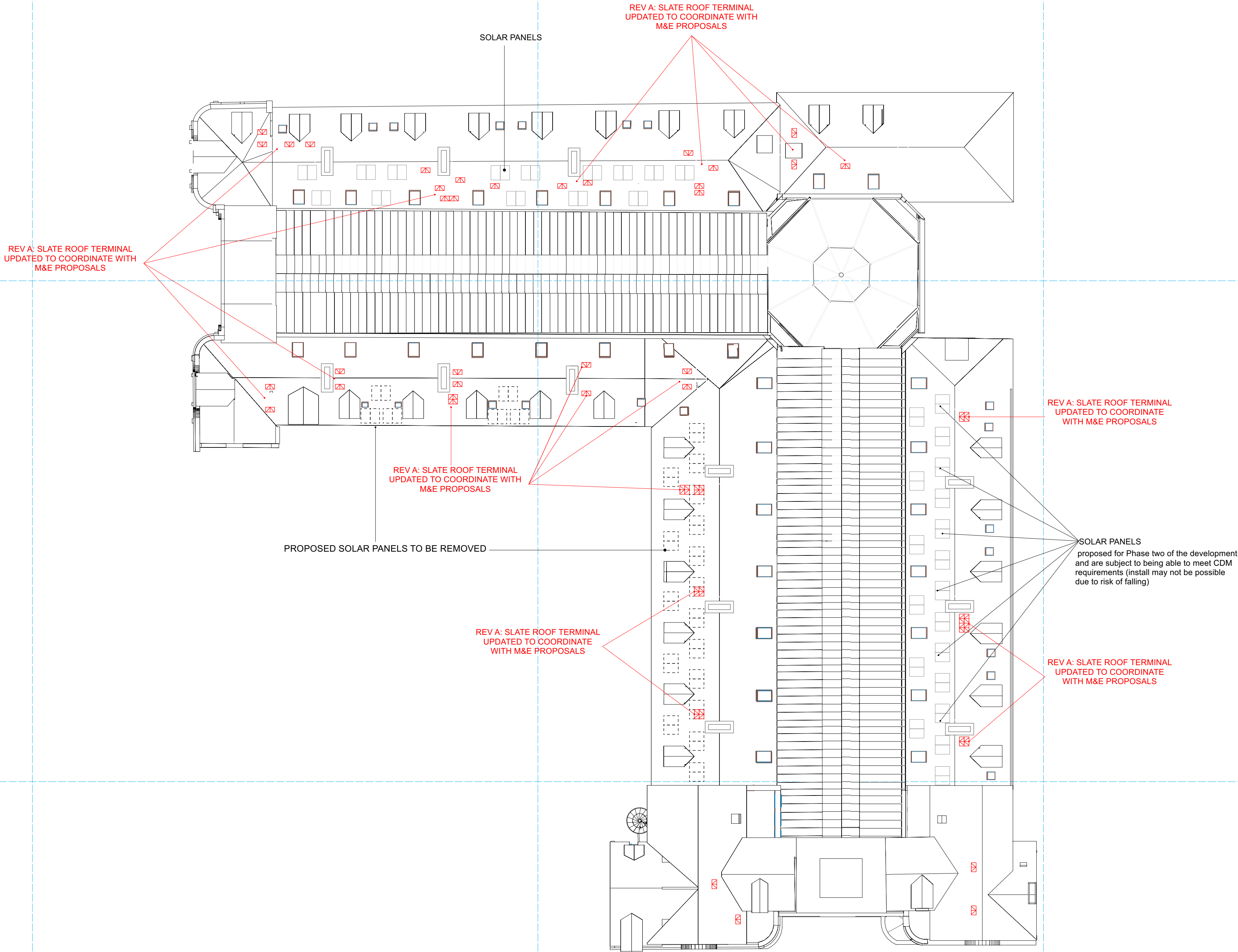
EXTRACTS: The extract ducts have so been designed to blend into the roof using small pitched roof vent ducts which will need to protrude approximately 300mm above the roof finish. The shrouds will be metal and not plastic. Slat tiles will be adorned to the profile so that only the vent grill is showing. The vent grill will be black to further reduce visibility. See M&E detailed drawings for more clarity.



TYPICAL ROOF VENTILATION LOUVRE DETAIL



*NOTE: Position and size of M&E vent subject to more detailed design. See M&E drawings for clarity



*NOTE: Position and size of M&E vent subject to more detailed design. See M&E drawings for clarity



Address
ROYAL ARCADE
BOSCOMBE

B. 16.02.24 Technical notes added, M&E vents added to roof
A. 04.12.23 Remove PVs from the roof

REV.	DATE	DESCRIPTION
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Project ID	286	Drawn By	WA
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Date	02.08.23	Reviewed By	AC
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Scale	1:200@A1
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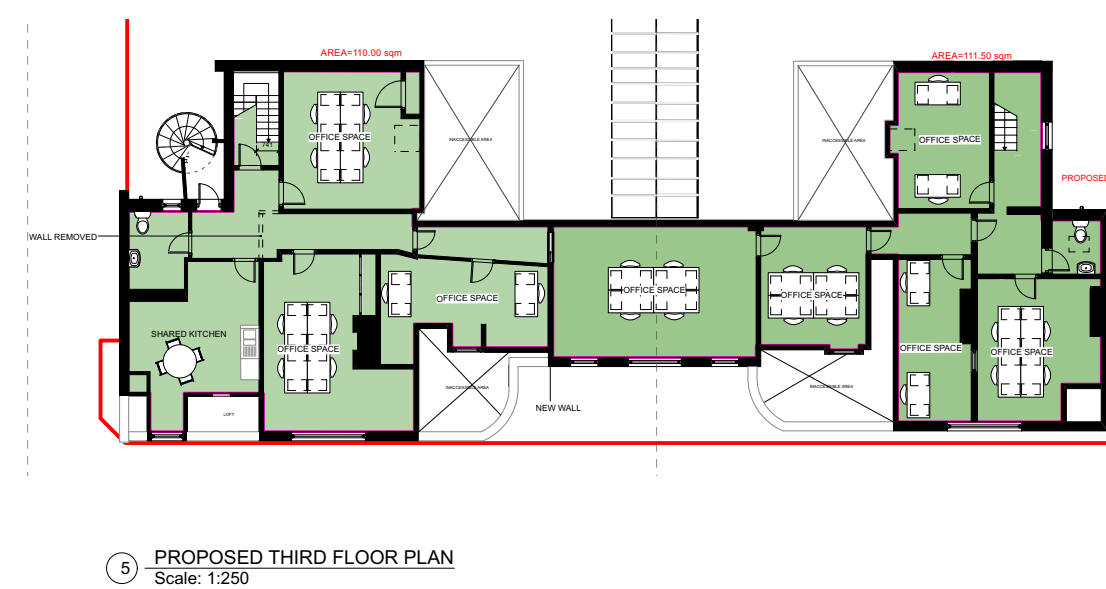
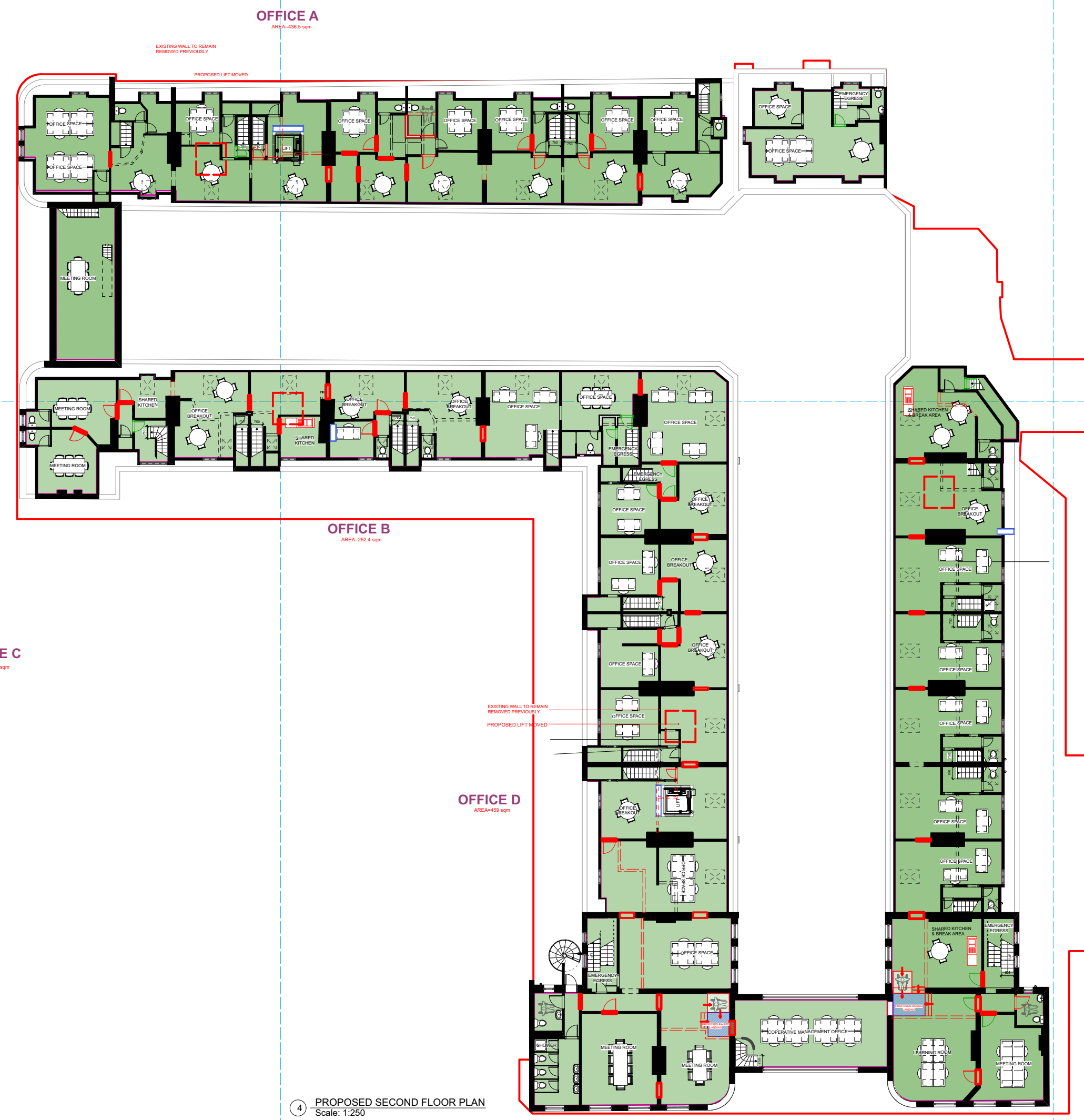
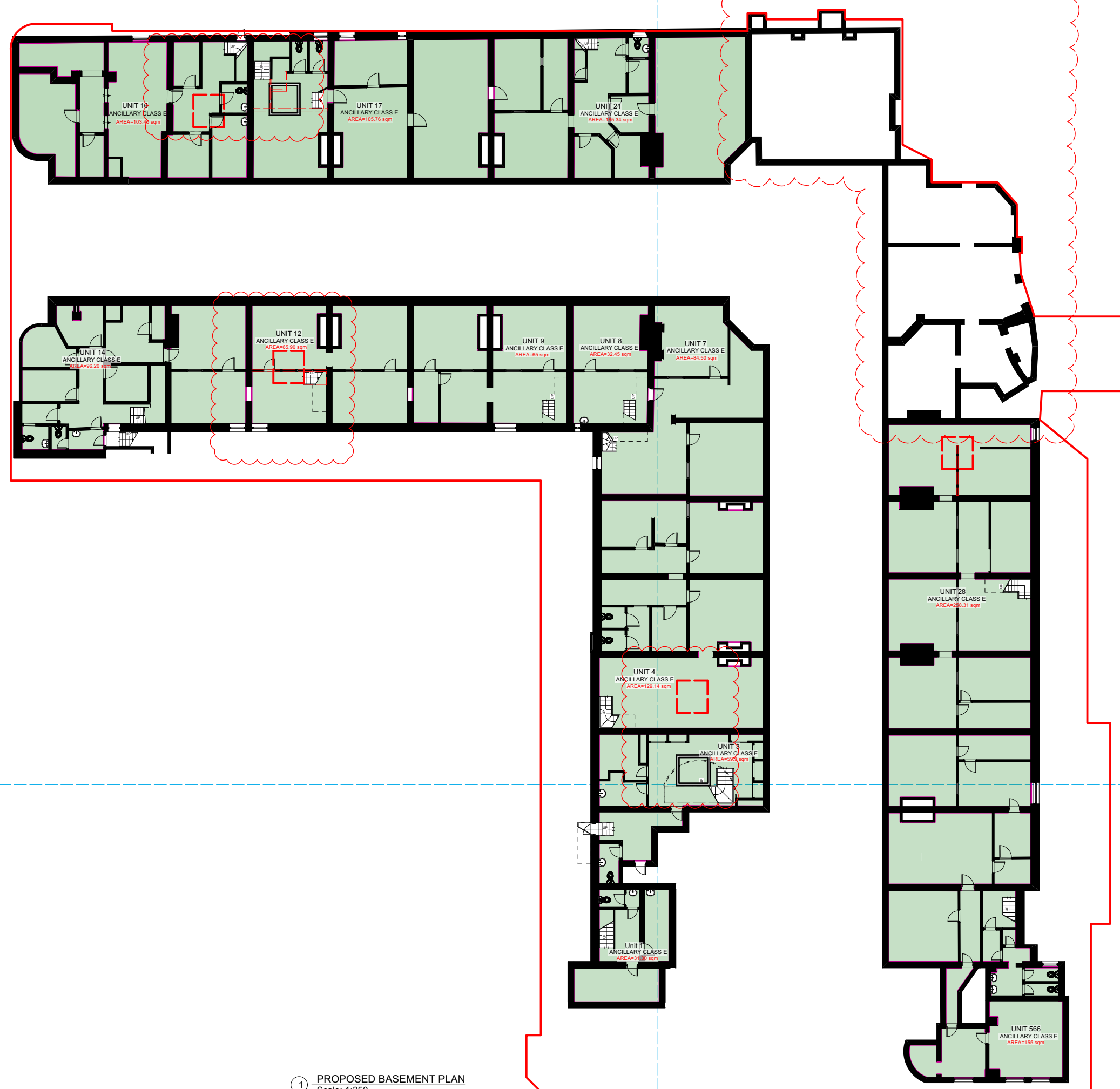
Sheet Title

PROPOSED ROOF
PLAN

Sheet No.

286_3_160 B





		EXISTING				PROPOSED				
FUNCTION	BASEMENT	GROUND FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL	BASEMENT	GROUND FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL
CLASS E	-	1109.6	566.97	495.63	2059.89	-	1282.45	1539.9	1338.25	2222.0
CLASS E (Ancillary storage)	1217.88	-	-	-	1217.88	1217.88	-	-	-	1217.88
CLASS F	-	171.1	-	-	171.1	-	-	-	-	-
CLASS C3	-	-	884.27	778.19	222.80	1997.57	-	-	-	-

REDLINE BOUNDARY SHOWING EXTENT OF OWNERSHIP ACROSS ALL FLOOR PLANS



 CLASS E

 CLASS F

 CLASS C3

TECHNICAL NOTES:

EXISTING BRICKWORK: The preservation of all brickwork on all elevations is proposed. All brickwork, where needed, will be restored and re-pointed.

EXISTING RENDER TO NON STREET FACING FACADES: Existing renderwork to be restored where needed, blown render to be removed and replaced. The render will be self coloured to a light grey (RAL 7032)

EXISTING WINDOWS: Windows (mainly sash) will undergo restoration. The sash mechanisms will be restored. Any broken glass will be replaced. Any rotten timber will be replaced. The windows will be repainted throughout. There are also various decorative timber panels at street / shop front level that will be restored, replaced if necessary and repainted.

There are some windows on the ground floor on the west, south and east facing wings that have been concealed behind temporary hoarding. This hoarding will be removed. If the timber window frames and mullions remain, they will be restored, with new glazing put in. If elements of the timber windows were removed they will be replaced with hardwood timber frames to match.

EXISTING ROOF TILES: A comprehensive assessment of the roof will be conducted. Roof tiles found to be damaged and or missing will be repaired or replaced using materials to match the original tiles.

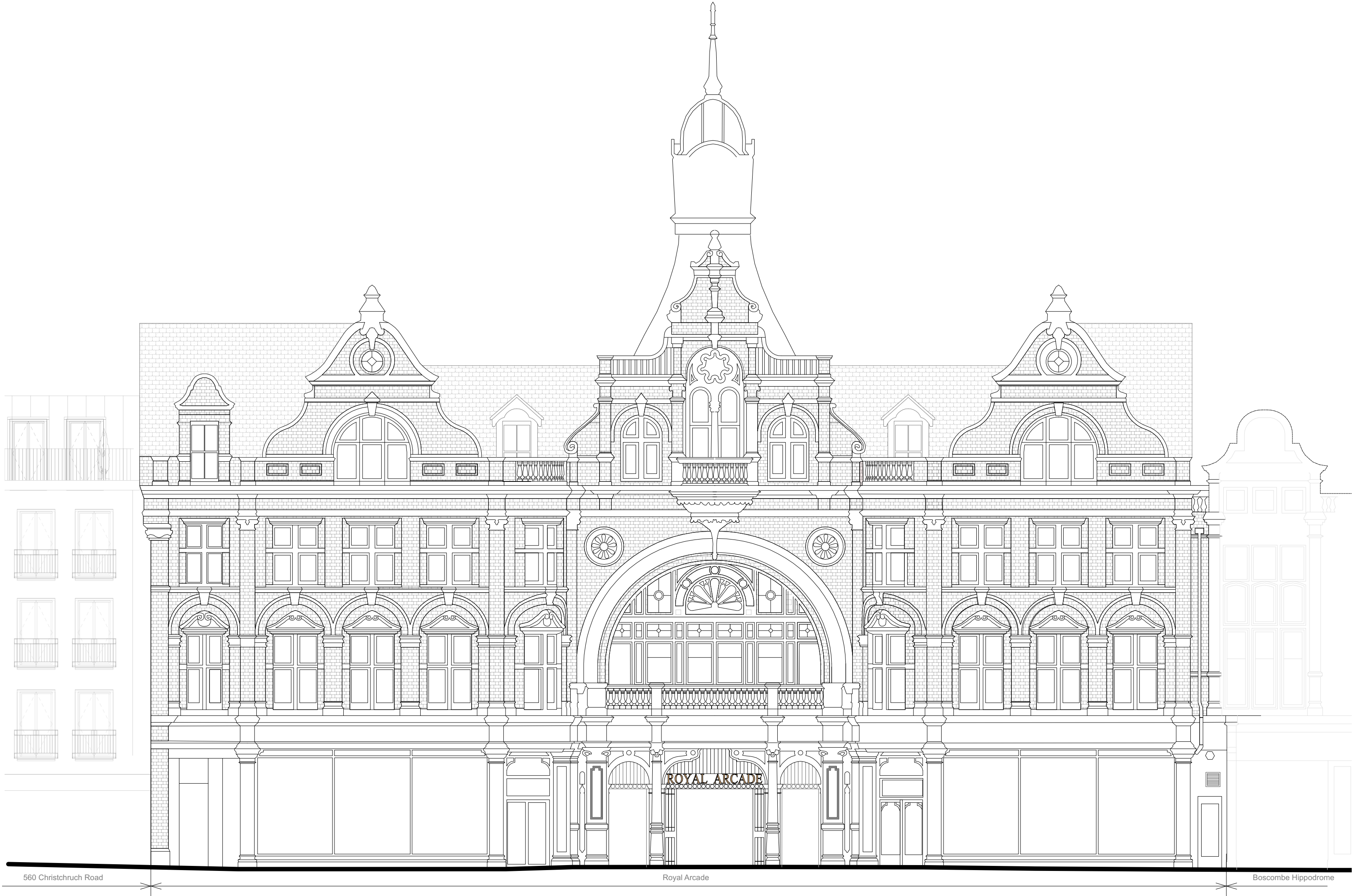
EXISTING GATES: Existing wrought iron gates with remain and be locally restored/elements replaced if needed.

EXISTING LEAD WORK: Existing lead flashings, lead dressings, valleys, cappings and other fenestration to be restored to ensure protection of of existing timber roof spaces.

1 EXISTING SOUTH ELEVATION
Scale: 1:100



2 PROPOSED SOUTH ELEVATION
Scale: 1:100



Address
ROYAL ARCADE
BOSCOMBE

A 16.02.24 Technical notes added

REV.	DATE	DESCRIPTION
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Project ID	286	Drawn By	WA
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Date	02.08.23	Reviewed By	AC
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Scale	1:100@A1
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Sheet Title
EXISTING &
PROPOSED SOUTH
ELEVATION

Sheet No.
286_3_200A

TECHNICAL NOTES:

EXISTING BRICKWORK: The preservation of all brickwork on all elevations is proposed. All brickwork, where needed, will be restored and re-pointed.

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1 EXISTING NORTH ELEVATION
Scale: 1:100

REV B: DRAWING ERROR
PREVIOUSLY SHOWN AS WINDOW
BUT IS A DOUBLE DOOR OPENING
ON SITE

SVP SHOWN IN ERROR ON
DRAWINGS. NO NEW SVP'S ARE
INTENDED TO BE INSTALLED. ALL
NEW FOUL DRAINAGE TO BE
CONNECTED INTO EXISTING
SYSTEMS WHERE POSSIBLE.

SLATE ROOF TERMINAL
UPDATED TO COORDINATE
WITH M&E PROPOSALS

SVP SHOWN IN ERROR ON
DRAWINGS. NO NEW SVP'S ARE
INTENDED TO BE INSTALLED. ALL
NEW FOUL DRAINAGE TO BE
CONNECTED INTO EXISTING
SYSTEMS WHERE POSSIBLE.

SLATE ROOF TERMINAL
UPDATED TO COORDINATE
WITH M&E PROPOSALS



2 PROPOSED NORTH ELEVATION
Scale: 1:100

REV B: DRAWING ERROR PREVIOUSLY
SHOWN AS WINDOW BUT IS A DOUBLE
DOOR OPENING ON SITE. EXISTING
BOARDED DOORS RESTORED WITH NEW
DOUBLE DOOR ENTRANCE TO BIN STORE

*NOTE: Position and size of
M&E vent subject to more
detailed design. See M&E
drawings for clarity

Architect
ECA
SECOND FLOOR
14 HIGH STREET
BOSCOMBE

Address
**ROYAL ARCADE
BOSCOMBE**

B. 16.02.24 Drawing label changed,
drawing error corrected
A. 16.02.24 Technical notes added, M&E
extract writs updated, SVP's
removed

REV.	DATE	DESCRIPTION
Project ID	286	Drawn By WA
Date	02.08.23	Reviewed By AC
Scale	1:100@A1	

Sheet Title
**EXISTING &
PROPOSED NORTH
ELEVATION**

Sheet No.
286_3_201B

0 5 10 15 M

TECHNICAL NOTES:

EXISTING BRICKWORK: The preservation of all brickwork on all elevations is proposed. All brickwork, where needed, will be restored and re-pointed.

EXISTING RENDER TO NON STREET FACING FACADES: Existing renderwork to be restored where needed, blown render to be removed and replaced. The render will be self coloured to a light grey (RAL 7032)

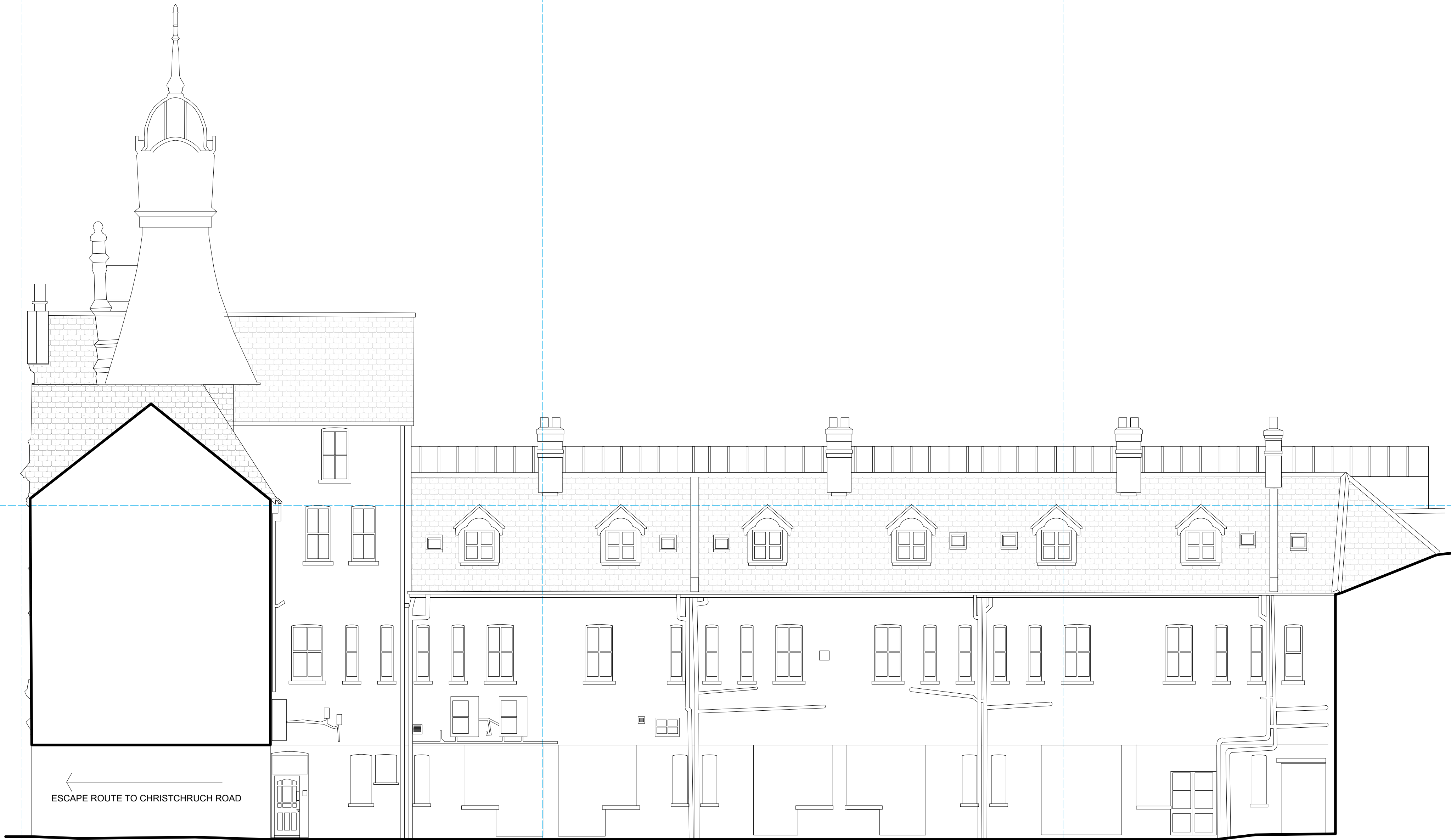
EXISTING WINDOWS: Windows (mainly sash) will undergo restoration. The sash mechanisms will be restored. Any broken glass will be replaced. Any rotten timber will be replaced. The windows will be repainted throughout. There are also various decorative timber panels at street / shop front level that will be restored, replaced if necessary and repainted.

There are some windows on the ground floor on the west, south and east facing wings that have been concealed behind temporary hoarding. This hoarding will be removed. If the timber window frames and mullions remain, they will be restored, with new glazing put in. If elements of the timber windows were removed they will be replaced with hardwood timber frames to match.

EXISTING ROOF TILES: A comprehensive assessment of the roof will be conducted. Roof tiles found to be damaged and or missing will be repaired or replaced using materials to match the original tiles.

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EXISTING LEAD WORK: Existing lead flashings, lead dressings, valleys, cappings and other fenestration to be restored to ensure protection of of existing timber roof spaces.

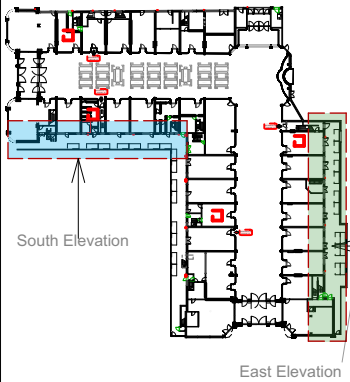


1 EXISTING EAST ELEVATION
Scale: 1:100



2 EXISTING SOUTH ELEVATION
Scale: 1:100

0 5 10 15 M



*NOTE: Position and size of M&E vent subject to more detailed design. See M&E drawings for clarity



Address
ROYAL ARCADE
BOSCOMBE

A 16.02.24 Technical notes added

REV.	DATE	DESCRIPTION
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Project ID	286	Drawn By	WA
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Date	02.08.23	Reviewed By	AC
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Scale	1:100@A1
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Sheet Title
EXISTING SOUTH
&EAST WINGS
ELEVATION

Sheet No.
286_3_202A

TECHNICAL NOTES:

EXISTING BRICKWORK: The preservation of all brickwork on all elevations is proposed. All brickwork, where needed, will be restored and re-pointed.

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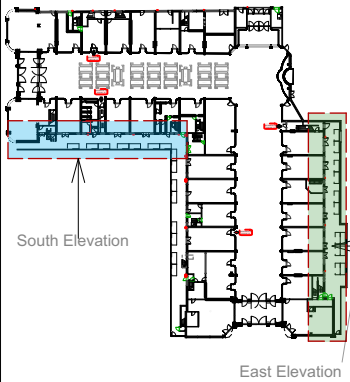
EXISTING LEAD WORK: Existing lead flashings, lead dressings, valleys, cappings and other fenestration to be restored to ensure protection of of existing timber roof spaces.



1 PROPOSED EAST ELEVATION
Scale: 1:100



2 PROPOSED SOUTH WING ELEVATION
Scale: 1:100



*NOTE: Position and size of M&E vent subject to more detailed design. See M&E drawings for clarity

Note:
Bricks and boards must be removed from windows and doors to assess their condition, distinguishing between those that can be restored and those that require reinstatement. Careful examination will determine the extent of repairs needed to revive functionality and aesthetics.



Address
ROYAL ARCADE
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C.	27.02.24	Proposed window & door openings aligned to GF plan
B.	16.02.24	Technical notes added, M&E units moved/size updated, M&E vents updated on roof
A.	04.01.24	Remove solar panels from South and West wings

REV.	DATE	DESCRIPTION
Project ID	286	Drawn By WA
Date	02.08.23	Reviewed By AC
Scale	1:100@A1	

Sheet Title
PROPOSED SOUTH & EAST WINGS ELEVATION

Sheet No.
286_3_203C

TECHNICAL NOTES:

EXISTING BRICKWORK: The preservation of all brickwork on all elevations is proposed. All brickwork, where needed, will be restored and re-pointed.

EXISTING RENDER TO NON STREET FACING FACADES: Existing renderwork to be restored where needed, blown render to be removed and replaced. The render will be self coloured to a light grey (RAL 7032)

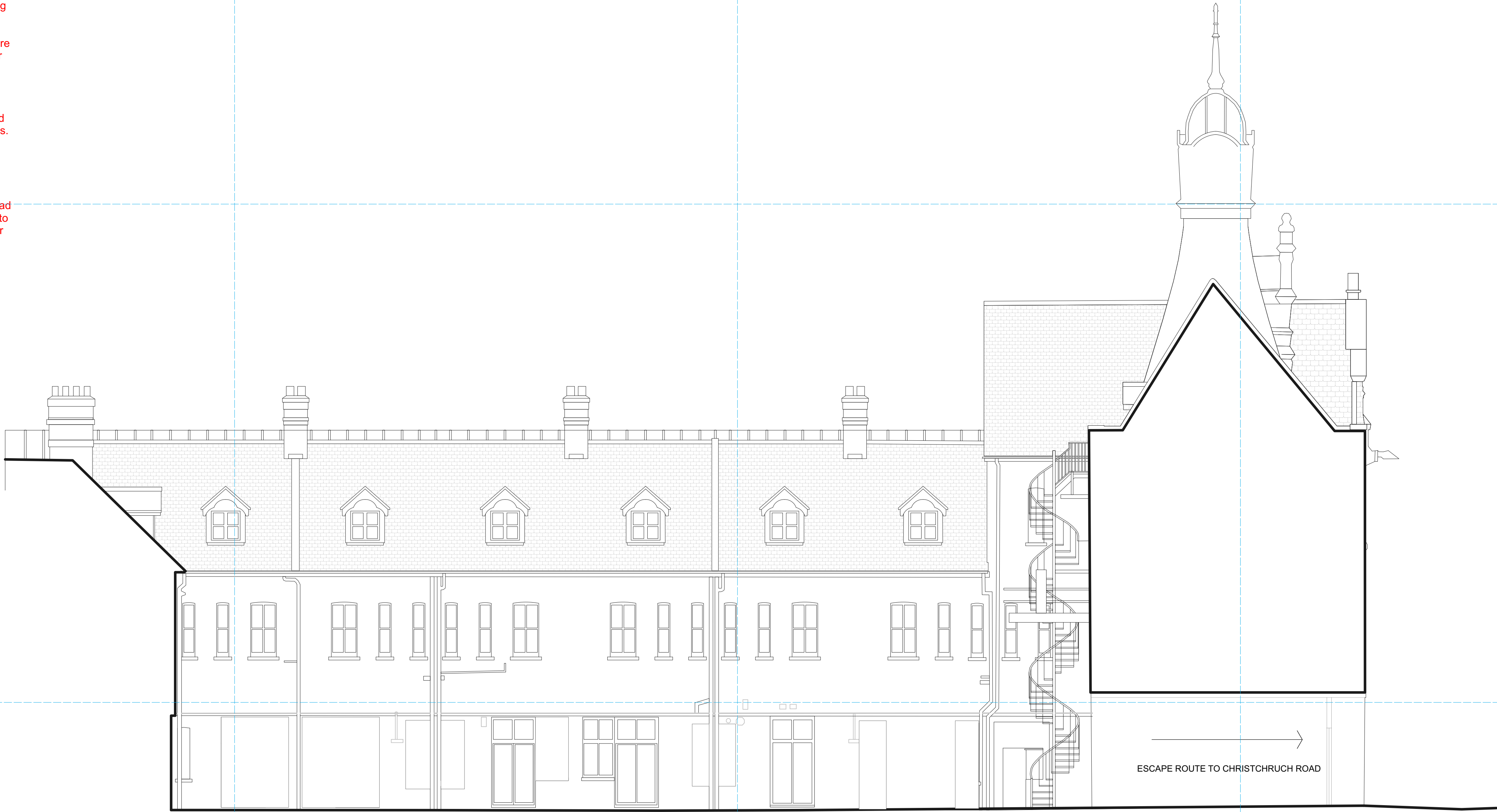
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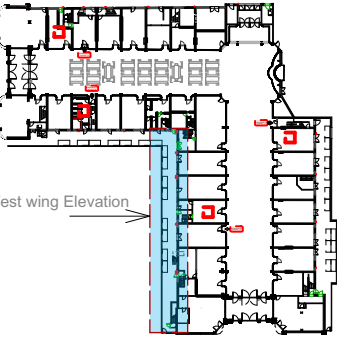
EXISTING ROOF TILES: A comprehensive assessment of the roof will be conducted. Roof tiles found to be damaged and or missing will be repaired or replaced using materials to match the original tiles.

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1 EXISTING WEST WING ELEVATION
Scale: 1:100



*NOTE: Position and size of M&E vent subject to more detailed design. See M&E drawings for clarity



Address
ROYAL ARCADE
BOSCOMBE

A. 16.02.24 Technical notes added

REV.	DATE	DESCRIPTION
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Project ID	286	Drawn By	WA
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Date	02.08.23	Reviewed By	AC
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Scale	1:100@A1
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Sheet Title

EXISTING WEST WING
ELEVATION

Sheet No.

286_3_204A

0 5 10 15 M

TECHNICAL NOTES:

EXISTING BRICKWORK: The preservation of all brickwork on all elevations is proposed. All brickwork, where needed, will be restored and re-pointed.

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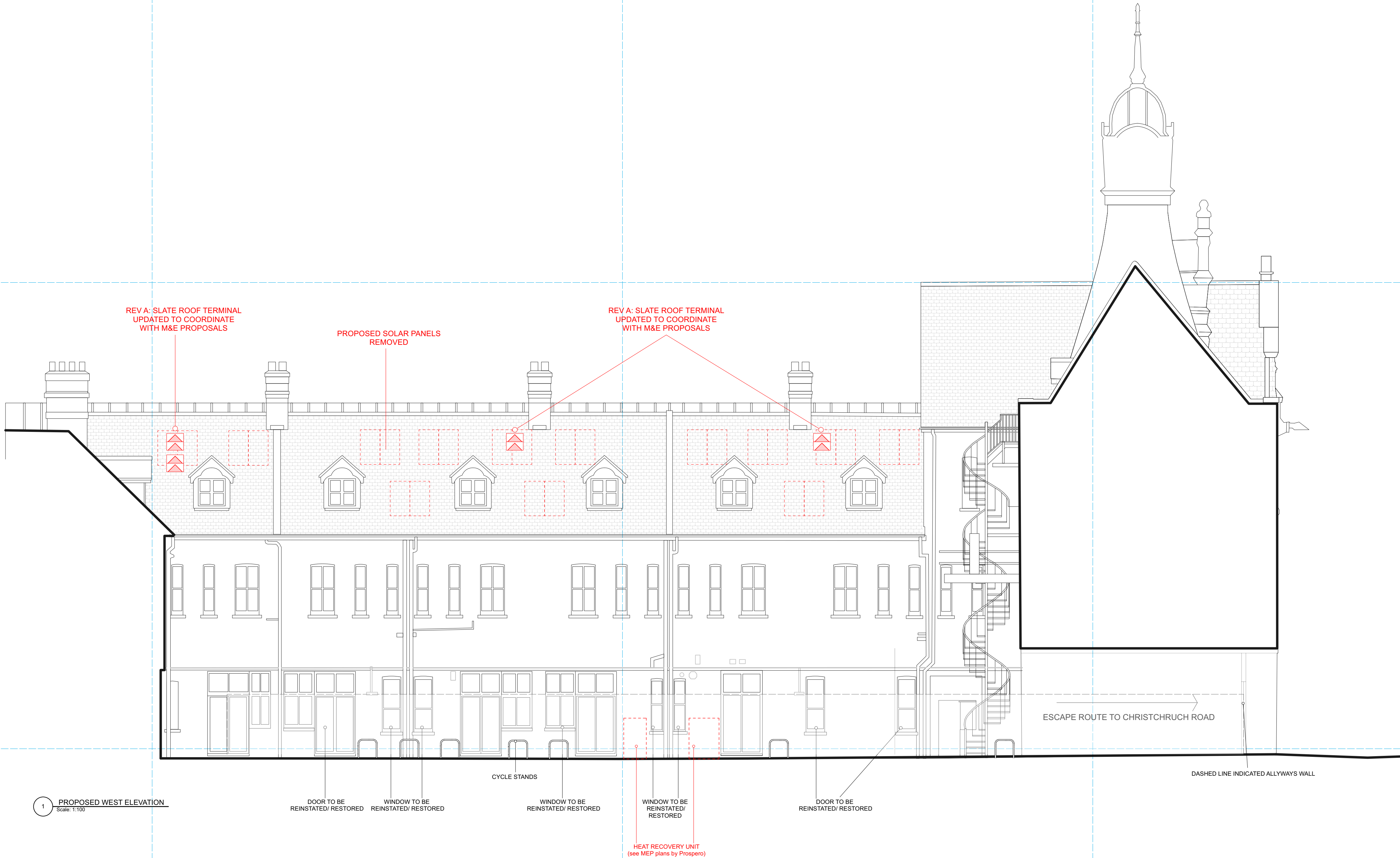
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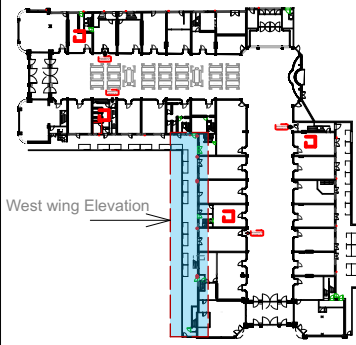
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EXISTING LEAD WORK: Existing lead flashings, lead dressings, valleys, cappings and other fenestration to be restored to ensure protection of of existing timber roof spaces.



1 PROPOSED WEST ELEVATION
Scale: 1:100



*NOTE: Position and size of M&E vent subject to more detailed design. See M&E drawings for clarity

Note:
Bricks and boards must be removed from windows and doors to assess their condition, distinguishing between those that can be restored and those that require reinstatement. Careful examination will determine the extent of repairs needed to revive functionality and aesthetics.



Address
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BOSCOMBE

REV. DATE DESCRIPTION
A. 16.02.24 Technical notes added, solar panels removed, M&E units moved, size updated, M&E vent to roof

Project ID 286 Drawn By WA
Date 02.08.23 Reviewed By AC
Scale 1:100@A1

Sheet Title
PROPOSED WEST
WING ELEVATION

Sheet No.
286_3_205A

TECHNICAL NOTES:

EXISTING BRICKWORK: The preservation of all brickwork on all elevations is proposed. All brickwork, where needed, will be restored and re-pointed.

EXISTING RENDER TO NON STREET FACING FACADES: Existing renderwork to be restored where needed, blown render to be removed and replaced. The render will be self coloured to a light grey (RAL 7032)

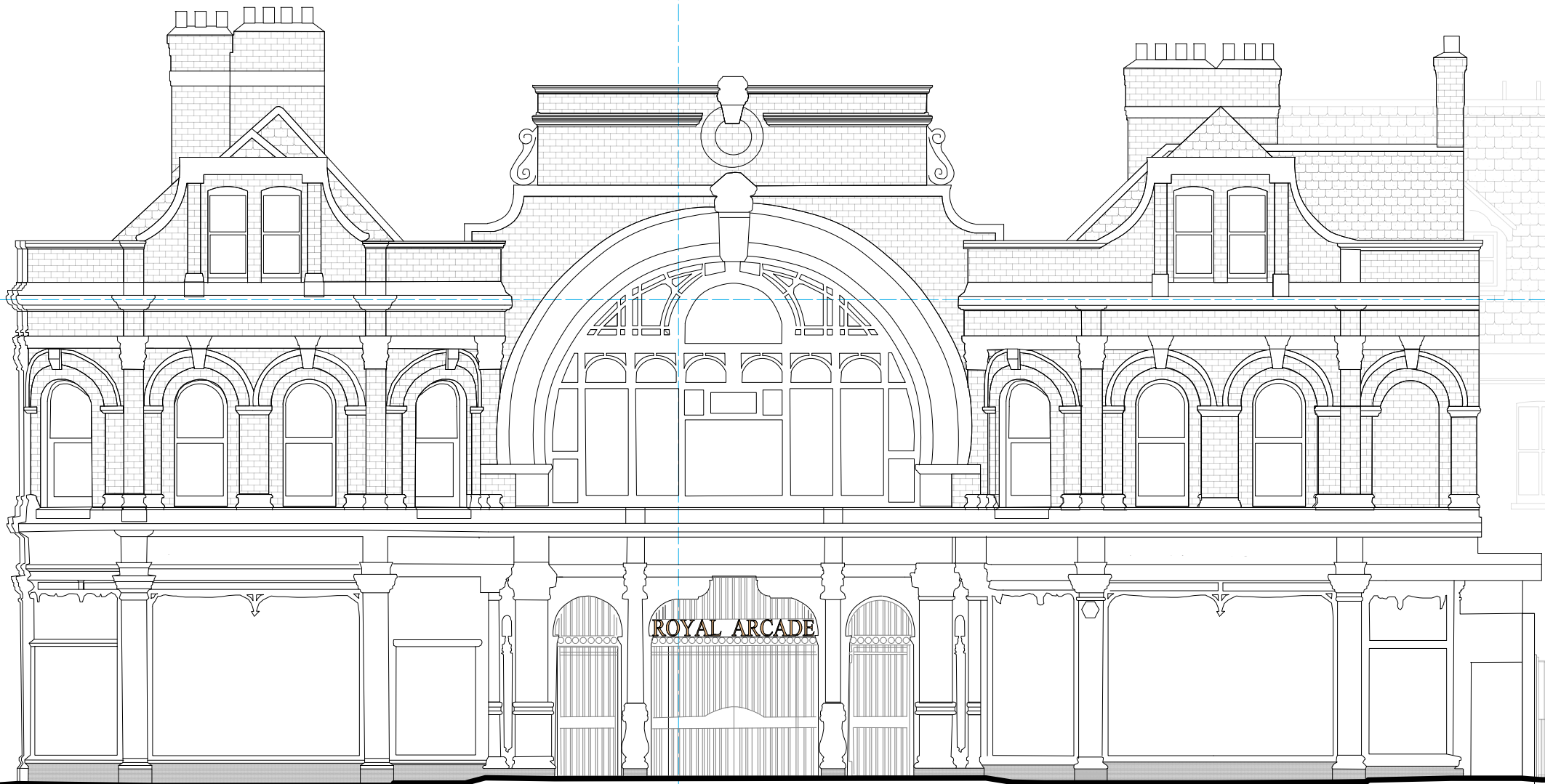
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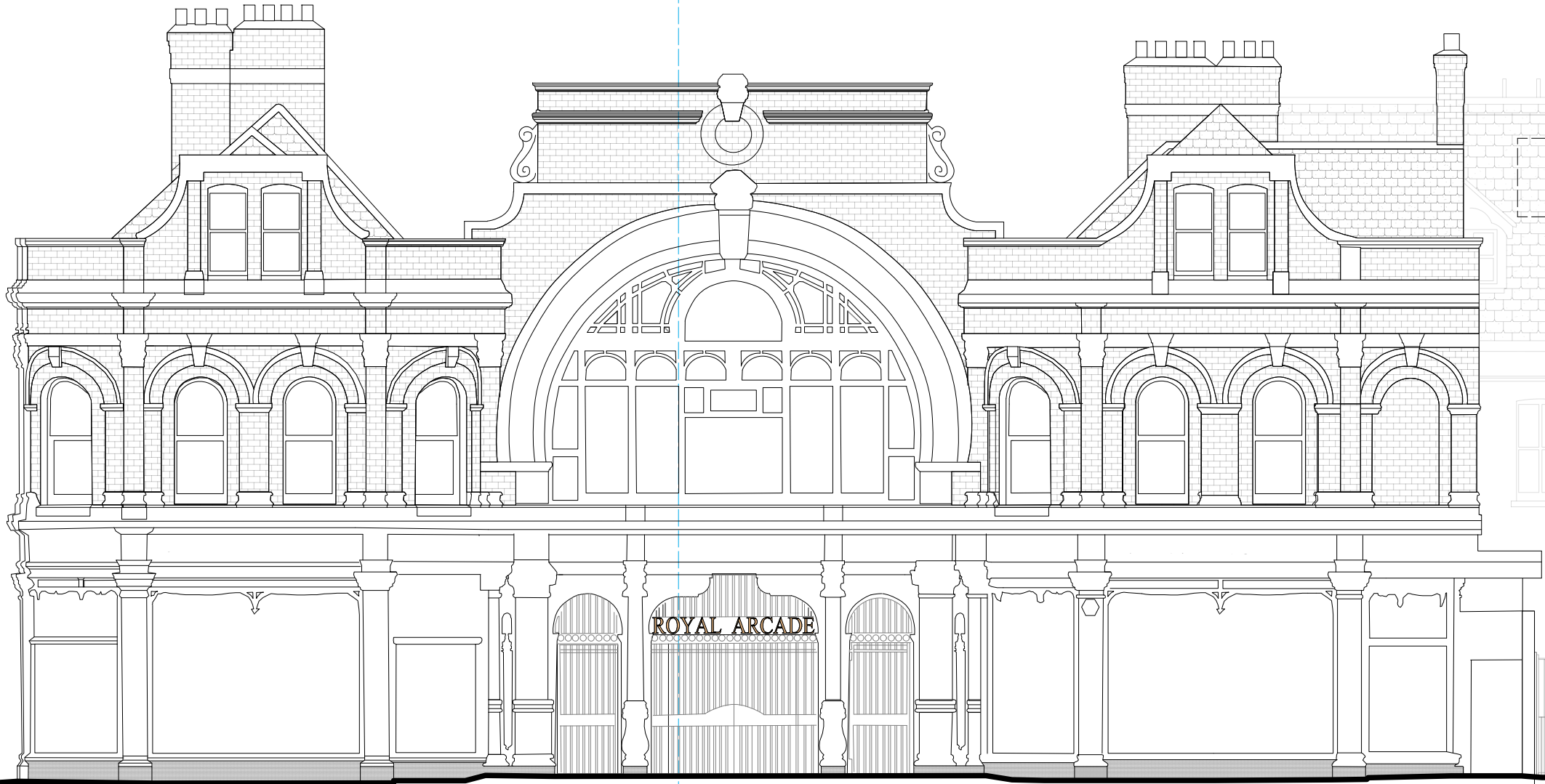
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1 EXISTING WEST ELEVATION
Scale: 1:100

ROYAL ARCADE

McDonald's



2 PROPOSED WEST ELEVATION
Scale: 1:100

ROYAL ARCADE

McDonald's

*NOTE: Position and size of M&E vent subject to more detailed design. See M&E drawings for clarity



Address
ROYAL ARCADE
BOSCOMBE

B. 16.02.24 Technical notes added, M&E vents added to roof
A. 04.01.24 Remove solar panels from South and West wings

REV.	DATE	DESCRIPTION
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Project ID	286	Drawn By	WA
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Date	02.08.23	Reviewed By	AC
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Scale	1:100@A1
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Sheet Title
EXISTING &
PROPOSED WEST
ELEVATION
(PALMERSTON ROAD)

Sheet No.
286_3_206B